



YQR Development Regulations

January 31, 2019

List of Amendments

Section Number	Amendment	Date
2.2	Added approval process for re-development and alteration.	August 21, 2020

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1.0 INTRODUCTION

1.1 PURPOSE

The Purpose of these Development Regulations is to provide a clear and efficient system of land use regulation to guide development at Regina International Airport (YQR). These Development Regulations are intended ensure the security, safety, and environmental responsibility of the airport while guiding development within YQR's boundaries by:

- providing development regulations that align with the Regina International Airport's; Transport Canada Land Use Plan;
- encouraging appropriate development planning for YQR;
- communicating development expectations to potential developers;
- facilitating consistent application of development regulations; and,
- coordinating development planning with the City of Regina and the R.M. of Sherwood and neighbouring landowners.

No person shall carry out any development unless a development permit, building permit &/or any other permit under these Regulations has been issued and duly authorized by the Regina Airport Authority (RAA).

1.2 OTHER DEVELOPMENT REGULATIONS

Development, land use, and building must also conform with other relevant Federal, Provincial, City of Regina, and RAA regulations and guidelines, including the following:

1.2.1 Aeronautics Act

The Aeronautics Act (R.S., 1985, c. A-2) is the legislation that governs civil aviation in Canada. The Aeronautics Act has implications for development both on and off airport lands.

Aeronautical Assessment Form for Obstacle Evaluation

Completion of this form is required to assess the need for marking and lighting for objects that may pose a hazard to aviation.

This form, http://wwwapps.tc.gc.ca/Corp-Serv-Gen/5/forms-formulaires/download/26-0427_BO_PX, must be completed and submitted to Transport Canada at least 90 days prior to all alterations which increase the structure's height; or for proposed new structures if:

- (i) of such a height as to penetrate an airport obstacle limitation surface specified in the *Aerodrome Standards and Recommended Practices Manual – TP312*;
- (ii) within 6 km of the centre of an aerodrome;
- (iii) higher than 90 m Above Ground level (AGL) within 3.7 km of the centre-line of a recognized Visual Flight Rule (VFR) route such as, but not limited to, a valley, a railroad, a transmission line, a pipeline, a river or a highway;

- (iv) higher than 150 m AGL at any other location; or
- (v) a component of a catenary wire crossing where any portion of the wires or supporting structures exceed 90 m AGL;

Land Use Submission – NAV CANADA development application

NAV CANADA must assess and approve all proposals for land use near airports and air navigation infrastructure before construction begins.

These proposals must be submitted to NAV CANADA using the [Land Use Submission Form](#).

1.2.2 TP1247 E Aviation – Land Use in the Vicinity of Aerodromes

Land use around an Aerodrome can have significant impact on the safety and operational viability of the aerodrome, to the detriment of the community that relies on it.

TP1247 provides information on obstacle limitation surfaces both on airport land and beyond the boundaries of YQR and are established to ensure the required level of safety is maintained.

1.2.3 Current Land Use Plan as approved by Transport Canada

RAA's ground lease requires a Land Use Plan approved by the Minister of Transport. The Plan is amended from time to time following consultations with key stakeholders. The Land Use Plan presents how lands are to be used and describes permissible development in each area of the airport.

1.2.4 Regina Airport Zoning Regulations (Government of Canada, C.R.C., c 105)

The Regina Airport Zoning Regulations restrict the height of development, vegetation, and the disposal of waste in a geographically defined area around YQR. These regulations apply to all the lands, including public road allowances, adjacent to or in the vicinity of the airport, that consist of:

- a) the lands within; and,
- b) the lands directly under that portion of an approach surface that extends beyond the outer limits.

The outer limits are described in the regulation.

1.2.5 Airport Bird-hazard Risk Analysis Process for Regina International Airport (Airport Wildlife Management International, 2010)

This document outlines wildlife management requirements in relation to mitigating the prevalence of birds and other potentially hazardous wildlife within and around the airport.

In collaboration with the City of Regina and the RM of Sherwood, the RAA reviews development applications within the boundaries of the bird hazard zones established by this report.

1.2.6 YQR Design Guidelines (Cushing Terrell Architecture, 2017)

YQR Design Guidelines were created to communicate a minimum level of design standard for building and site design, for development on airport lands. The Guidelines also communicate minimum (and in some cases, maximum) acceptable design standards for signage, landscaping, parking and service areas. All new development is subject to the YQR Design Guidelines.

1.2.7 Relevant Environmental Legislation and Regulation

What follows is a list of selected relevant environmental legislation and regulation that should be consulted when considering development at YQR.

Federal

- Canadian Environmental Protection Act, 1999
- Environmental Code of Practice for Aboveground and Underground Tank Systems Containing Petroleum Products
- Canadian Environmental Assessment Act, 2012
- Transportation of Dangerous Goods Act, 1992
- Migratory Birds Convention Act, 1994
- Species at Risk Act
- Pest Control Products Act

Provincial

- Environmental Management and Protection Act, 2010
- Saskatchewan Environmental Code
- The Water Security Agency Act
- The Wildlife Act, 1998
- The Weed Control Act
- The Pest Control Act

Municipal

- City of Regina Wastewater and Storm Water Bylaw No. 2016-24
- City of Regina Noise Abatement Bylaw, No. 6980

**All current Acts and/or Regulations will prevail over the ones listed, if new Acts and/or Regulations comes into force subsequent to the publication of this Document.*

2.0 PROCEDURES

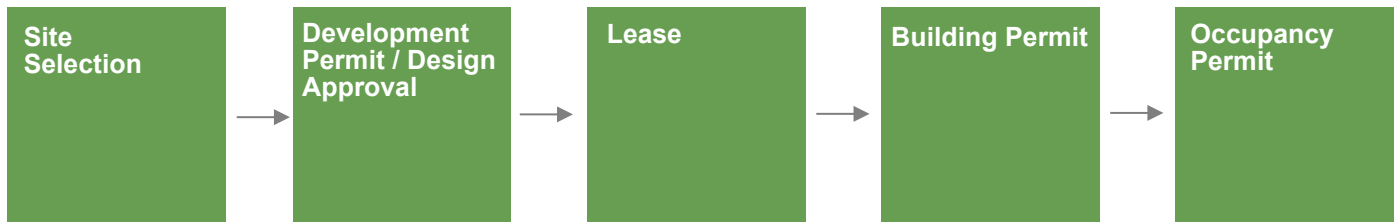
The RAA is the approving authority for all development on the Regina International Airport lands.

Development proponents must meet with RAA officials to determine appropriate site location for their proposed development, enter into a lease agreement with the RAA and apply for and receive development, building and occupancy permit approval.

2.1 APPROVAL PROCESS FOR DEVELOPMENTS

2.1.1 Process for New Development

The following flow chart provides a simplified process for development within YQR.



- 1) **Site Selection** – Prospective tenants, working with RAA Planning & Development, select their desired site appropriate for their proposed development consistent with the Land Use Plan and appropriate Development Regulation District
- 2) **Development Permit** – Prospective tenants submit required information to RAA Planning & Development for approval of the development.
- 3) **Lease** – Prospective tenants review and execute lease provided by RAA.
- 4) **Building Permit** – Tenants submit design drawings sealed by the responsible professional. **Building permits** are issued by RAA, upon review and recommendation of a third-party building code inspector.
- 5) **Occupancy Permit** – An occupancy permit is issued by RAA upon acceptable completion of a development when the work is completed and suitable for occupancy.

2.1.2 Process for Re-Development or Alteration

The following flow chart provides a simplified process for re-development or changes to existing developments, buildings, or spaces.



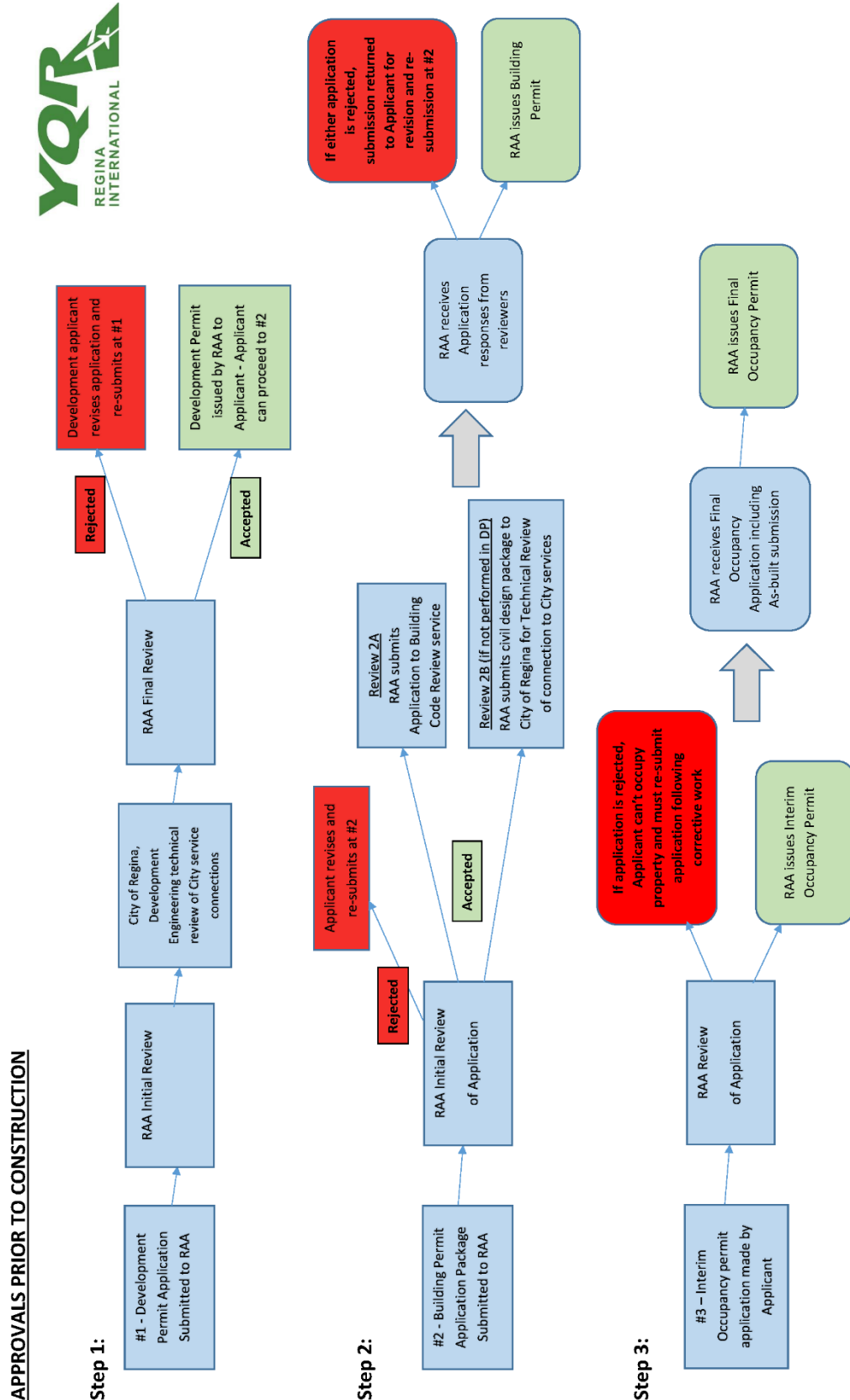
- 1) **Project Review / Lease Adjustment** – Tenants, working with RAA Planning & Development, review the proposed project to confirm it meets the current Development Regulations and permitted uses as stated in the tenant’s lease. If the use proposed is not a permitted used in the Tenant’s lease, an adjustment to the tenant’s lease potentially can be considered or renegotiated.
- 2) **Design Approval / Development Permit** – Tenants submit required information to RAA Planning & Development for approval of the proposed re-development or alteration
- 3) **Facility Alteration Permit** – Tenants are required to fill out a Facility Alteration Permit. After review, Building Permit(s) may also be required, dependent on the project.
- 4) **Building Permit** – Tenants submit design drawings sealed by the responsible professional. **Building permit(s)** are issued by RAA, upon review and recommendation of a third-party building code inspector.
- 5) **Occupancy Permit** – An occupancy permit is issued by RAA upon acceptable completion of a development when the work is completed and suitable for occupancy.

2.2 DEVELOPMENT PERMIT

2.2.1 Development Permit Applications

- a) Applications for a development permit shall be submitted to RAA Planning and Development, in accordance with these Development Regulations.
- b) All applications for a development permit shall be submitted in the form required by the RAA. Applications shall include all required information and the required application fee as prescribed by the RAA

Figure 1 - YQR Development, Building and Occupancy Permit Application Approval Process



2.2.2 Development Permit Application

- a) Applications for a development permit are not considered received until the applicant has submitted all information required by the RAA and the appropriate application fees have been paid.
- b) RAA Planning and Development may require an applicant to submit additional information considered necessary to verify the compliance of the proposed Use or development with these Development Regulations
- c) The approval of any application, drawing, or the issuing of a development permit shall not prevent the RAA from requiring the correction of errors, nor from prohibiting the development being carried out when in violation of these Development Regulations.
- d) Any development permit issued on the basis of incorrect information contained in the application shall be invalid.

2.2.3 Submission Requirements

- a) All drawings submitted shall be drawn to a scale, clearly illustrated and in a format as RAA Planning and Development may approve, and shall be fully dimensioned, accurately figured, explicit and complete.
- b) Two copies of the following information shall be submitted with an application, accurately completed, in accordance with the following requirements:
 - i. the applicant's name, address, and interest in the land;
 - ii. description of the work to be performed with respect to change in current occupancy or land use and proposed development or building operations;
 - iii. identification of the scale of the development with respect to floor area of the development, area of the site covered, height of the structure and number of floors or storeys;
 - iv. the estimated value, in dollars, of the proposed work;
 - v. a site plan requires: a directional true north arrow; setbacks and yard dimensions; the location of all buildings or structures in relation to lease boundary lines; dimensioned layout of existing and proposed parking areas, driveways, entrances and exits, abutting public roadways, proposed connections to roadways and taxiways; a plan for overland drainage; service connections for sewer, water and utility connections; fencing ; garbage storage and collection areas; loading, storage, outdoor service and display areas;
- c) The RAA will also require,
 - i. architectural plans – floor plans, building section, building elevations, etc.;
 - ii. a landscaping plan (see requirements **Section 2.2.4.**); and
 - iii. any other information as may be deemed necessary for a specific project

All costs to prepare Development Permit applications are borne by the Applicant. Development Permit application reviews are performed by RAA with support from third-party consultants as required.

2.2.4 Landscaping Plans

The landscape plan must comply with the list of approved vegetation identified in Section 3.3 and be prepared by a registered landscape architect, and shall clearly indicate and accurately identify the following:

- a) a site plan drawn to scale, including dimensions and distances, a north arrow, and necessary interpretive legends;
- b) the existing topography with the vegetation that is to be retained and tree/vegetation protection measures to be undertaken during construction;
- c) the layout of soft and hard landscaping, pedestrian circulation and open space, screening, berms, slopes and retaining walls;
- d) the types, sizes, spacing and numbers of plant material and the types of hard landscaping;
- e) list of plant material to be planted identifying the common and scientific name, quantity, caliper and size at planting;
- f) existing and final site grading of the landscape areas; and,
- g) the location of commercial signage.

2.3 BUILDING PERMIT

An application for a Building Permit will be considered complete only if it includes:

- a) architect and/or engineer's sealed design drawings for architectural, landscape, structural, mechanical, electrical and others as required by the project;
- b) completed Building Permit application form;
- c) complete Building Code analysis;
- d) other information as may be deemed necessary for a specific project;

Phased Building Permitting is possible, specific submission information requirements will be determined by the Building Code reviewer.

All costs for Building Permit review are borne by the Applicant. Building Permit application reviews to be performed by third party contractors.

Costs for Building Permits are as per RAA's current fee schedule, at the time of application.

2.4 OCCUPANCY PERMIT

Occupancy permit applications must be made at the time of project completion, prior to building occupancy.

Applications shall be made in accordance to RAA's project specific requirements as communicated at the time of the application

Tenants may elect to apply for interim occupancy permits, upon project completion, and prior to building occupancy. Interim occupancy, if granted, allows the tenant to occupy the completed development, prior to receiving all information required for the occupancy permit.

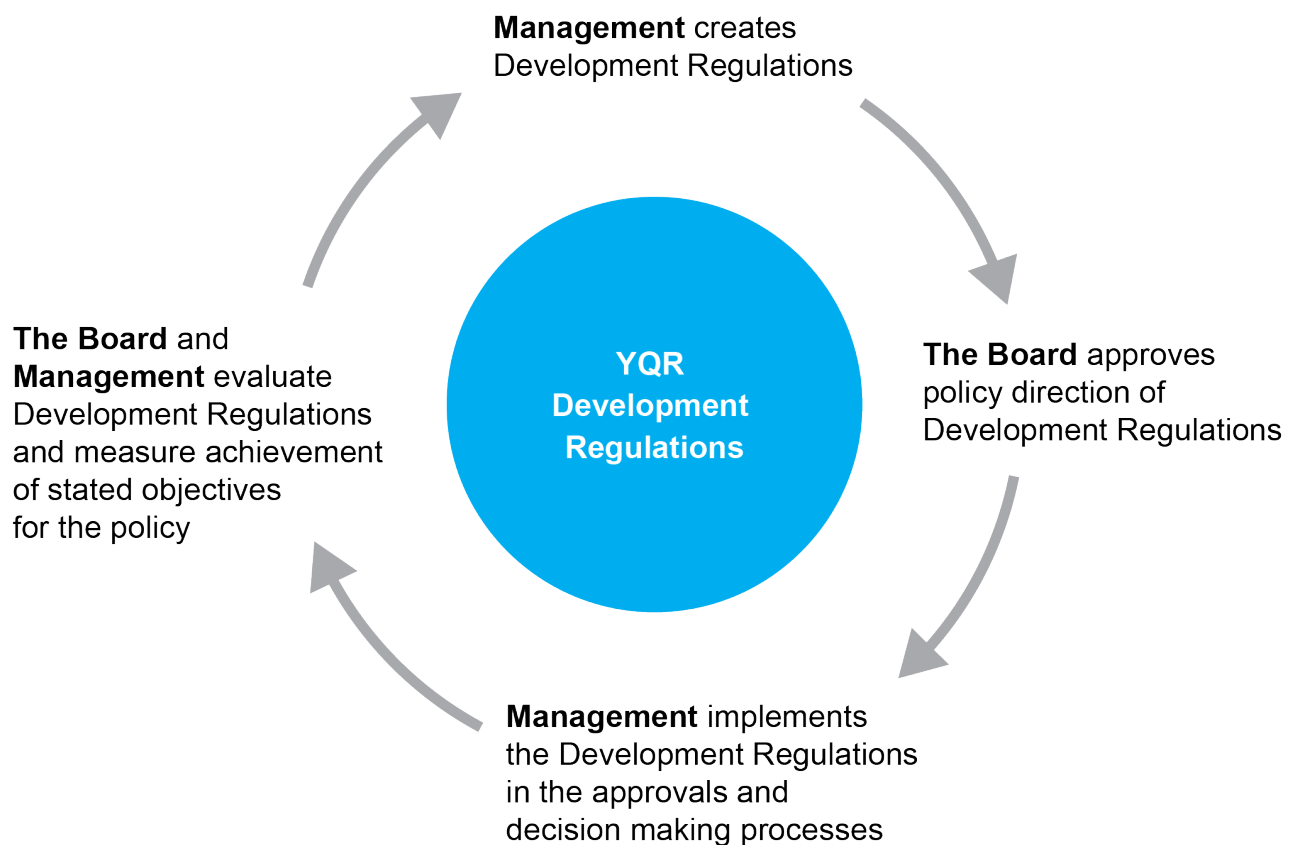
2.5 ROLE OF THE BOARD IN DECISION-MAKING

RAA's ground lease with the Crown places certain restrictions in use on YQR lands and requires RAA to transfer certain responsibilities to its sub-tenants. RAA's ground lease forms the basis of authority for RAA to develop YQR in accordance with the restrictions placed by the Crown.

The RAA is governed by the Board of Directors (the Board). The Board reviews and approves real estate development policy as presented by RAA Management from time to time. Proposed development applications are reviewed by Management to ensure compliance with YQR Development Regulations and RAA's real estate development policy.

All development approvals are issued by RAA Management under the direction of RAA's real estate development policy.

Figure 2 - RAA Decision-making Process



3.0 GENERAL REGULATIONS

Notwithstanding any provisions within these Development Regulations, all development shall comply with the Regina Airport Zoning Regulations, (Government of Canada, C.R.C., c 105).

The following Development Regulations outline the requirements for development within the boundaries of the Regina International Airport (YQR).

3.1 BUILDING HEIGHT

The height of any building or structure shall not exceed an elevation that would penetrate protected surfaces as defined by the Regina Airport Zoning Regulations and the Aeronautics Act.

3.2 BUILDING GUIDELINES

- a) Buildings shall be designed to present an attractive, aesthetic appearance toward public streets. Where a building face, other than the front of a building, is visible from a street or road, a visually attractive appearance shall be provided to a standard similar to that of the front of the building;
- b) Buildings should take advantage of natural contours and features of the landscape so that structures fit into the natural surroundings;
- c) Buildings should be designed to complement the character and style of existing buildings within visual proximity.

3.3 LANDSCAPING

Landscaping is important for creating a consistent and attractive visual impression. The following landscaping regulations must be applied.

- a) All landscaping shall be subject to the requirements of RAA.
- b) All portions of the site that are not developed (by buildings, parking and loading areas, internal roads and vehicular access) must be landscaped.
- c) Pedestrian connection and circulation zones shall incorporate landscaping in their design.
- d) New landscape design shall be integrated with surrounding landscaping.
- e) On-street furniture, accessories, and lighting shall be designed to be well integrated, consistent and uniform.
- f) Site lighting will be designed, constructed, and oriented so as to not conflict with safe airport operations.
- g) Landscaped areas for passive employee use shall be encouraged.
- h) Fruit bearing plant species that attract birds or wildlife are not permitted.
- i) Landscaped, well-lit and attractively surfaced pedestrian connections shall be provided from the street frontages, and parking areas to the building's main entry.
- j) Landscaping shall be provided along the frontage of all buildings, where possible, and incorporated where bare walls face pedestrian or vehicular travel paths.

All plants proposed for landscaping must be selected from the list below or an equivalent that is approved by RAA:

Coniferous Trees

(evergreen & deciduous):

- Larix sibirica
- Green picea pungens (height – 1.5m)
- Blue picea pungens (height – 2.5m)

Annuals:

Petunia fi hybrid grandiflora ‘sugar daddy’

Deciduous Trees (standard shade trees):

- Fraxinus nigra (fall gold)
- Fraxinus pennsylvanica ‘patmore’
- Populus tremuloides
- Quercus macrocarpa

Coniferous ornamental evergreens:

- Juniperus chinensis ‘pfitzeriana aurea’
- Juniperus horizontalis ‘blue chip’
- Juniperus horizontalis ‘plumosa’
- Juniperus horizontalis ‘wiltonii’
- Juniperus sabina ‘arcadia’
- Juniperus sabina ‘tamariscifolia’
- Pinus mugo ‘mughus’
- Pinus mugo ‘pumilo’

Shelterbelt plants:

- Fraxinus pennsylvanica lanceolate
- Picea pungens
- Quercus macrocarpa

Vines:

- Clematis ‘kacmannii’
- Lonicera ‘dropmore scarlet’

- Parthenocissus quinquefolia ‘engelmannii’

Deciduous Trees (ornamental):

- Acer ginnala
- Elaeagnus angustifolia
- Erchild
- Syringa amurensis japonica

Deciduous Shrubs:

- Amelanchier aifolia
- Caragana arborescens ‘lorbergii’
- Caragana arborescens ‘pendula’
- Caragana arborescens ‘pygmea’
- Caragana arborescens ‘walker’
- Cornus alba ‘argenteo – marginata’
- Euonymus nanus turkenstanicus
- Lonicera xylosteum ‘claveyli’
- Hippopahae rhamnoides (male & female specimen)
- Potentilla fruticose ‘coronation triumph’
- Potentilla parvifolia ‘farrerii’
- Prunus cistena
- Ribes odoratum
- Sorbaria sorbifolia
- Sambucus racemusa plumose aurea
- Spiraea bumalda ‘anthony waterer’
- Spiraea bumalda ‘goldflame’
- Syringa villosa
- Viburnum lentago

Herbaceous perennials:

- Aegopodium podograria variegatum
- Hemerocallis ‘heather rose’
- Paeonia lactiflora ‘pink double’
- Phalaris arundinacea ‘picta’

3.4 FENCING & SCREENING

Fences and walls should contribute to the visual quality of the project.

- a) Fences or retaining walls along the public street frontage should be avoided. Where fences or walls are provided, they should be no more than 5 m long without a break, jog or articulation.
- b) Where gates and fences are constructed landscaping shall be provided
- c) Fencing shall complement and be consistent with the quality of the building design and materials of the principal building.
- d) Fences and walls shall be designed to provide protection and screening
- e) Screening must be consistent with the architectural character of the principal building. Materials such as sheet metal and barbed wire are not permitted.
- f) All outdoor storage, refuse areas, and utility equipment shall be screened with fencing, walls, and/or screened with landscape materials.

3.5 VISIBILITY & OBSTRUCTIONS AT INTERSECTIONS

- a) On a corner parcel there shall be no obstruction to the line of vision above the height of 0.5 m of the established grade of a street within the sight triangle.

3.6 PEDESTRIAN CIRCULATION

It is important that pedestrians can efficiently and safely travel within and through YQR developments, therefore sites must be developed to ensure:

- a) accessible direct pathways minimize the walking distance from parking areas to primary building entrances;
- b) perimeter site pedestrian circulation shall be provided along the primary front access to all buildings; and
- c) walkways shall be a minimum of 2.0 m wide.

3.7 PARKING

Parking needs are to be met within the boundaries of the lease areas as the use requiring it, without requiring overflow parking within a public right-of-way or undermining the function of other modes of transportation in that location.

The following regulations apply to parking for all land uses:

- a) The parking and loading requirements for a lot containing more than one use shall be the total of the parking requirements for each use on the lot or in the building.
- b) Lot Design:
 - i. Garbage receptacles, structures, equipment or other materials shall not interfere with the ability of a required parking stall to serve its function.
 - ii. Design parking lots to avoid dead-end aisles. Where a dead-end aisle occurs, adequate space for unimpeded turn-around must be provided.

- iii. Avoid parking that creates hazardous backing movements into major drive aisles.
 - iv. Design parking areas that incorporate pedestrian walkways in a manner that links buildings to the street sidewalk system.
 - v. Landscape and buffer to reduce the visual impact of large parking areas.
 - vi. Avoid aligning all travel lanes in parking lots in long straight configurations.
 - vii. Use curbed landscaped islands to designate a change in direction of parking stalls and aisles. Minimum size of parking island shall be the size of one parking stall. Curbs may be at grade (flush) concrete edge which allows stormwater to flow into the island.
 - viii. Provide landscaped islands at the ends of all rows of parking.
 - ix. Parking areas shall be paved or hard surfaced and shall be compacted to suit the intended vehicle loads and be defined by curbs.
- c) Accessible Parking:
- i. A minimum of two per cent of the required number of parking stalls shall be provided in the form of accessible parking stalls with a minimum of 2 accessible stalls.
 - ii. Accessible parking stalls shall be clearly designated with signs indicating their purpose as accessible parking stalls and shall be located closest to a building entrance.
- d) Location:
- i. No motor vehicle parking stalls shall be located within:
 - An existing or proposed right-of-way;
 - A landscaped area: or
 - A required setback.
 - ii. No maneuvering area, loading stall or loading bay shall be located within:
 - An existing or proposed right-of-way;
 - A landscaped area: or
 - A required setback.
- e) The setback to garage doors must be sufficient to contain (both depth and width plus 1.0 metres) the largest likely vehicle to utilize the garage
- f) Required Motor Vehicle Parking Stalls:
- i. The table below lists the minimum motor vehicle parking requirements for land uses in all zones.
 - ii. If a fractional parking stall is calculated, any fraction over one-half shall be deemed to be equivalent to one full stall.
 - iii. Tandem parking stalls shall not be used to meet minimum parking requirements.

Use	Parking Requirement
Airport Related	
Air Fueling and Provisioning Services	To be determined at the discretion of the Regina Airport Authority (RAA) based on the specific use. All motor vehicle parking stalls, loading stalls and maneuvering areas shall be located entirely on the same lot as the principal land use they serve
Aircraft Hangars	
Airport Maintenance and Operations	
Airport Support	
Air Traffic Control Facilities	
Emergency Response Services	
Governments Agencies	
Meteorological Installations and Agencies	
Navigational Installations and Agencies	
Security Agencies	
Utility	
Food & Beverage	
Food & Beverage, Lounge	(a) For units less than 150 sq. m in area, none.
Food & Beverage, Catering	(b) For units 150 sq. m in area or greater, 1
Food & Beverage, Restaurant	stall per 75 sq. m per the total Gross Floor
Food & Beverage, Outdoor	Area of all development on the lot.
Industry	
Industry, Agriculture	(a) 1 stall per 175 sq. m per the total Gross
Industry, Artistic	Floor Area of all developments on the lot.
Industry, Food & Beverage	
Industry, Hazardous Substances	
Industry, Heavy	
Industry, Laboratory	
Industry, Light	
Industry, Resource	
Industry, Salvaging – Light	
Industry, Salvaging – Heavy	
Industry, Work Yard	
Institution	
Institution, Education	(a) 1 stall per 100 sq. m per the total Gross
Institution, Training	Floor Area of all developments on the lot
Institution, Health Care	
Institution, Humanitarian Service	
Institution, Day Care	(a) One stall per land use.
	(b) Passenger Drop-Off Stall Requirements
	i. The following table indicated the
	minimum number of passenger drop-off
	stalls:

Use		Parking Requirement	
		Individuals Under Care	Min. Number of Drop-off Stalls
		1-10	1 stall
		11-15	2 stalls
		16-30	3 stalls
		31-45	4 stalls
		46-60	5 stalls
		More than 60	2 additional stalls for each increment of 15 individuals in excess of 60
		ii. Where the applicant can demonstrate that on-street parking capacity can adequately serve as a drop-off space without impeding traffic flow, the minimum off-site drop-off space requirements may be reduced. iii. Parking stalls required pursuant to this section or a condition of a discretionary use permit shall not be used to satisfy the drop-off space requirements. iv. All on-site drop-off spaces shall be reserved and clearly marked for passenger drop-off purposes.	
Office			
	Office, Government	(a) For units less than 150 sq. m in area, none. (b) For units 150 sq. m in area or greater, 1 stall per 75 sq. m per the total Gross Floor Area of all development on the lot.	
	Office, Industry		
	Office, Professional		
Public Use			
	Public Use, General	N/A	
	Public Use, Institutional		
Retail Trade			
	Retail Trade, Adult	(a) For units less than 150 sq. m in area, none. (b) For units 150 sq. m in area or greater, 1 stall per 75 sq. m per the total Gross Floor Area of all development on the lot.	
	Retail Trade, Cannabis		
	Retail Trade, Outdoor Display		
	Retail Trade, Outdoor Lot		
	Retail Trade, Shop		
Service Trade			
	Service Trade, Accommodation	1 space per unit.	

Use	Parking Requirement
Service Trade, Clinic	(a) For units less than 150 sq. m in area, none.
Service Trade, Heavy	(b) For units 150 sq. m in area or greater, 1
Service Trade, Light	stall per 75 sq. m per the total Gross Floor
Service Trade, Motor Vehicle – Heavy	Area of all development on the lot.
Service Trade, Motor Vehicle – Light	
Service Trade, Parking Lot	
Service Trade, Parking Stand	
Service Trade, Parking Structure	
Service Trade, Personal	
Service Trade, Wash – Heavy	
Service Trade, Wash – Light	
Storage	
Storage, Hazardous Material	(a) 1 stall per 175 sq. m per the total Gross
Storage, Outdoor	Floor Area of all developments on the lot.
Storage, Personal	
Storage, Warehousing	
Wholesale Trade	
Wholesale Trade, Indoor	(a) 1 stall per 175 sq. m per the total Gross
Wholesale Trade, Outdoor	Floor Area of all developments on the lot.
Other	
Accessory Building or Use	(a) Accessory Buildings and Uses shall be included in parking regulation calculations for the Principal Building or Use.
Agriculture, Light	N/A
Automobile Renting and Leasing	(a) 1 stall per 75 sq. m per the total Gross Floor Area of all development on the lot.
Buildings, Planned Group	(a) For units less than 150 sq. m in area, none. (b) For units 150 sq. m in area or greater, 1 stall per 75 sq. m per the total Gross Floor Area of all development on the lot.
Drive-Through	(a) For units less than 150 sq. m in area, none.
Drive-Through, Accessory	(b) For units 150 sq. m in area or greater, 1 stall per 75 sq. m per the total Gross Floor Area of all development on the lot.

f) Minimum dimensions for parking spaces are:

	Length	Width
Standard Space	5.8 m	3.0 m
Parallel Space	7.3 m	3.0 m

3.8 ACCESS AISLES

In parking and loading areas, access aisle dimensions are:

		Minimum Width
Parking Areas	One-Way Travel	3.8 m
	Two-Way Travel	7.5 m
Loading Areas	One-Way Travel	Equal to width of largest loading space
	Two-Way Travel	Equal to double the width of largest loading space

3.9 SERVICE AND DELIVERY AREAS

Loading and delivery spaces must be designed so that all vehicles using the loading spaces can be parked and maneuvered entirely within the boundary of the site before moving onto adjacent roadways. The following regulations apply:

- a) On any lot containing buildings with a combined gross floor area of 1,401 sq. m or more, one loading stall shall be required.
- b) On any lot containing buildings with a combined gross floor area of 10,001 sq. m or more, two loading stalls shall be required.
- c) All loading stalls shall be clearly marked to indicate their purpose.

3.10 BIKE PARKING

The following regulations apply regarding bicycle parking:

- a) For every ten motor vehicle parking stalls that are developed on a lot, whether to meet the parking requirement, the developer shall develop either:

- i. 1 short-term bicycle parking stalls;
 - ii. 0.5 long-term bicycle parking stalls; or
 - iii. An equivalent combination of short-term and long-term bicycle parking stalls to the satisfaction of the Regina Airport Authority (RAA).
- b) Required short-term bicycle stalls shall be located closer to the building entrance than the motor vehicle parking stalls.
- c) Required long-term bicycle stalls shall be located either:
 - i. On the grade floor of the principal building(s) on the lot; or
 - ii. Within a secure area closer to the entrance than the building's motor vehicle parking stalls.
- d) If the motor vehicle parking stalls are covered and/or within a structure, then the bicycle parking stalls must also be covered and/or within a structure.
- e) If, in determining the number of required parking stalls, a fractional bicycle parking stall is calculated, any fraction will be rounded up to the next whole number.

3.11 OUTDOOR STORAGE AND REFUSE AREAS

All outdoor storage and refuse areas must be designed to reduce negative visual impact.

- a) Outdoor storage and refuse areas must be visually screened by either a wall, appropriate screen fencing, landscape screening, or a combination thereof, to reduce the visual impact of these facilities.
- b) Garbage receptacles are required to be screened on all sides and located in areas that ensure ease of access for garbage trucks.
- c) Garbage receptacles shall be enclosed with a secure lid, and outdoor refuse areas shall be held to a standard of high maintenance to ensure birds are not attracted to the area.
- d) The height of the fencing shall be relative to what is being screened.
- e) Fencing shall be appropriate to the building in question.
- f) Refuse areas shall include an area large enough to accommodate the potential maximum needs of the building occupants.
- g) Outside storage areas must be associated with the primary use of the principal structure.
- h) Storage and refuse areas shall not be placed within a defined parking lot.

3.12 SURFACING

- a) Any parking space, access aisle or maneuvering area, outdoor storage, service and refuse areas must be hard surfaced with asphalt or equivalent to provide a durable surface and graded and drained to properly dispose of surface water.
- b) Hard surfaced paving materials shall be used on pedestrian pathway.

3.13 EXTERIOR LIGHTING

- a) All exterior lighting should be 'dark sky' compliant and must be located, oriented, and shielded to not negatively affect adjacent sites.

- b) Low-intensity and pedestrian-oriented outdoor lighting must be directed downward to minimize glare and light pollution.
- c) Exterior lighting shall in no way interfere with airport operations.

3.14 UTILITIES & MECHANICAL EQUIPMENT

The applicant is responsible to determine infrastructure requirements, locate all existing underground and overhead utilities, confirm capacity is adequate for the planned development and comply with the RAA standards and to municipal standards when connecting to municipal utilities.

Final connections to all services will be inspected by a representative of the RAA, the service provider and the City of Regina where appropriate.

Negative visual and auditory impacts of utilities, mechanical equipment, data transmission dishes, towers, and similar equipment is not permitted.

- a) Transformers must be located away from major pedestrian routes and outdoor seating areas.
- b) All transformers, telecommunications devices, equipment switching boxes, and other utility cabinets within pedestrian areas must be buffered with landscaping and/or other architectural screens (e.g. fencing).
- c) Utility boxes may be adorned with artwork.
- d) Building mechanical equipment (HVAC) regardless of location must be visually screened with architectural screens.
- e) The location of exterior mechanical equipment associated with industrial processing or manufacturing operations must minimize visual and auditory impacts from adjacent property through landscaping and/or fencing.

3.15 SURFACE WATER CONTROL

- a) Every development requires a stormwater drainage and management plan approved by the RAA.
- b) All lots within YQR shall discharge stormwater into drainage swales and/or other stormwater structures in accordance with RAA's stormwater management plan:
 - i. Development shall not increase the release rate of stormwater to an amount greater than pre-development levels.
 - ii. All grading and drainage shall provide for the adequate removal of water from around buildings, structures, walkways and paths.
 - iii. Surface drainage shall not be directed onto adjacent properties, whether public or private.
 - iv. Drainage systems, swales or ditches shall transport water and serve as site amenities (rock, native plantings and other treatments can accomplish this).

- c) The velocity and volume of runoff shall be reduced using site-grading techniques that effectively limit the size, shape, length and gradient of slopes and channels.

3.16 SIGNAGE

These sign regulations are intended to assist in making a positive contribution to the physical appearance of the Airport in keeping with specific parameters appropriate for an airport.

3.16.1 General Requirements

The RAA is the approving authority for all new signage or alteration of existing signage. A sign may not be erected, altered, rebuilt, enlarged, extended, or relocated, and no change can be made to any part of the supporting structures, surrounding framework, illumination, colour or copy until RAA approval has been obtained.

- a) Signs should be integrated into the overall design of the building and should not conflict with the general character of the surrounding streetscape or adjacent buildings.
- b) Signs should be integrated into the building facade or landscaping.
- c) Signs should be unobtrusive and in scale with their surroundings.
- d) Building canopies and awnings should be coordinated with building signage.
- e) Signs shall not impede traffic sightlines.

3.16.2 Prohibited Signs

The following signs shall not be permitted by lessee on leased premises:

- a) Animated Copy.
- b) Digital Signs.
- c) Billboard Signs.
- d) Automated Changeable Copy.
- e) Balloon Signs.
- f) Banner Signs.
- g) Communications Dish Signs.
- h) Roof Signs.
- i) Third-Party Signs.

3.16.3 Number of Signs

- a) A maximum of two permanent signs per business frontage are permitted, this may be a combination of the following:
 - i. fascia sign, awning sign, hanging or canopy sign.
- b) In addition to the signs allowed under Section 3.16.3 a), subject to approval, RAA may consider:
 - i One freestanding sign;
and/or

- ii. One directory sign.

3.16.4 Permitted Sign Type Regulations

The types of signs permitted are subject to the following regulations:

- a) Fascia, Awning and Canopy Signs:
 - i. Maximum sign area shall not exceed 0.46 m² per linear metre of wall length of the business frontage, awning, or canopy to which the sign is affixed.
 - ii. The sign shall only be located on the portion of the building containing the business premises to which the sign refers.
 - iii. Where more than one business occupies a building, the fascia sign for each such business shall be limited to the portion of the business frontage containing the business premises to which it refers.
 - iv. Copy shall be permitted only on the exterior front of an awning or canopy.
- b) Hanging Signs:
 - i. Maximum sign area shall not exceed 0.56 m².
- c) Freestanding Signs:
 - i. Only one freestanding, ground-mounted, double-faced sign will be permitted for each building. Where a freestanding building contains multiple tenants, or multiple accesses off a public right-of-way, an increase in the number of freestanding ground-mounted signs may be accommodated. All freestanding signs must:
 - a. be securely fastened to the ground;
 - b. provide the address and street of the building served, with a minimum of 8cm text; and,
 - c. not contain change panels
 - ii. Shall be setback a minimum of 3.0m from the parcel lot line,
 - iii. Maximum height shall not exceed 2.4m and 1.5m in width.
 - iv. Maximum sign area shall not exceed 2.0 m² except where four or more businesses share a sign then a total sign area not exceeding 4.0 m² is permitted;
- d) In addition, Sandwich Board signs may be permitted with RAA approval

3.16.5 Removal of Signs

When a business vacates a parcel or premises, all signs on the parcel or premises which relate to that business shall be removed within thirty days by the owner of the sign or the leaseholder of the parcel or within seven days of being so notified by RAA.

4.0 DEVELOPMENT DISTRICTS

Airport land use functions are divided into two categories: **Airside** - the activities and uses that support the direct operation of the airport and airplanes, and **Groundside** - services, activities and uses provided to the general public, the travelling public, visitors as well as the sale, control and transportation of goods to and from the airport lands that may or may not directly support the airport.

The Regina Airport lands are divided into Development Districts that due to their location provide opportunities for development of different uses. The majority of the permitted uses listed are consistent with the **City of Regina Zoning Bylaw, Chapter 2 – Interpretation**. Where a use class is indicated, all uses in the use class are permitted in the District unless exceptions are noted. Where specific uses are stated that fall under a use class only the uses listed are permitted in the District. Definitions are provided in **Section 5**.

Discretionary Uses

Uses other than those listed within the specific Development Districts may be considered if the use is determined to be compatible with the intended purpose and long-term development of the Development District. These discretionary uses will be considered on a limited, case by case basis subject to RAA Administration and Board approval.

The Development Districts are identified on **Figure 3 – YQR Development District Map**

Districts established by these regulations:

- a) Airport Gateway
- b) Logistics & Warehousing
- c) Flex Industrial
- d) Terminal Development
- e) Airside
- f) Airside Support
- g) Airside Systems/Airport Reserve

4.1 AIRPORT GATEWAY

4.1.1 Purpose

This district is intended for high quality commercial uses that support the travelling public, airport employees and local residents, that are of high aesthetic quality, and provide an attractive entrance to the airport. This district is intended to ensure consistency and coordination of architectural form, massing and siting of new commercial developments and establish a high standard of cohesive design for this District.

Typical uses may include: retail trade, service trade, hotel, restaurant, entertainment venue, service station, office and other similar uses consistent with high quality commercial developments.

4.1.2 Permitted Uses

- Accessory Building or Use
- Buildings, Planned Group
- Communal Amenity Area
- Drive- Through, Accessory
- Drive-Through
- Food and Beverage
- Institution
- Office (excluding Office, Industry)
- Public Amenity
- Retail Trade, Cannabis
- Retail Trade, Outdoor Lot
- Retail Trade, Shop
- Service Station
- Service Trade, Accommodation
- Service Trade, Clinic
- Service Trade, Light
- Service Trade, Motor Vehicle – Light
- Service Trade, Personal
- Service Trade, Wash - Light

4.1.3 Development Guidelines

In addition to Section 3.0 – General Regulations, the following Guidelines apply.

4.1.3.1 Setbacks

Front: Minimum 6.0 m

Rear: Minimum 5.0 m

Side: Minimum 1.5 m

4.1.3.2 Building Height

Principal Use: Maximum 15 m

Accessory Use: Maximum 5.0 m

Exceptions: Hotels, which may have a greater height as permitted by the RAA.

4.1.3.3 Site Coverage

The maximum site coverage is **65%**.

4.3 LOGISTICS & WAREHOUSING

4.3.1 Purpose

The intent of this district is to provide industrial uses that benefit from proximity to the airport and other transportation networks. This district is intended to ensure coordination of architectural form, massing, siting and cohesive design. Typical uses may include industrial activity, warehouses, greenhouses, distribution facilities, processing, manufacturing, research and development activities.

4.3.2 Permitted Uses

- Accessory Building or Use
- Buildings, Planned Group
- Industrial Activity
- Industry (excluding *Industry, Resource*)
- Institution
- Office
- Public Use
- Retail Trade, Outdoor Lot
- Service Station
- Service Trade (excluding *Service Trade, Accommodation; Service Trade, Clinic; and Service Trade, Personal*)
- Storage
- Wholesale Trade

4.3.3 Development Guidelines

In addition to Section 3.0 – General Regulations, the following Guidelines apply.

4.3.3.1 Setbacks

Front: Minimum 7.5 m

Rear: Minimum 6.0 m

Side: Minimum 3.0 m

4.3.3.2 Building Height

Principal Use: Maximum 15 m

Accessory Use: maximum 15 m

4.3.3.3 Site Coverage

The maximum site coverage is **65%**.

4.4 FLEX INDUSTRIAL

4.4.1 Purpose

The District supports business, industrial and commercial uses that could include research and development, manufacturing, distribution, wholesaling, retail and office uses that are developed to a high standard of architectural design and site landscaping

4.4.2 Permitted Uses

- Accessory Building or Use
- Buildings, Planned Group
- Food and Beverage
- Industrial Activity
- Industry, (excluding *Industry, Hazardous Substances; Industry, Heavy; Industry, Resource, and Industry, Work Yard*)
- Institution
- Office
- Public Use
- Retail Trade (excluding *Retail Trade, Outdoor Display*)
- Service Station
- Service Trade, Heavy
- Service Trade, Light
- Service Trade, Motor Vehicle – Light
- Service Trade, Wash – Heavy
- Service Trade, Wash – Light
- Storage (excluding *Storage, Hazardous Material*)
- Wholesale Trade

4.4.3 Development Guidelines

In addition to Section 3.0 – General Regulations, the following Guidelines apply.

4.4.3.1 Setbacks

Front: Minimum 7.5 m

Rear: Minimum 6.0 m

Side: Minimum 3.0 m

4.4.3.2 Building Height

Principal Use Maximum: 15 m

Accessory Use: Maximum: 21 m

Exception: Building heights in excess of 15 m may be allowed at the discretion of the RAA.

4.4.3.3 Site Coverage

The maximum site coverage is **65%**

4.5 TERMINAL DEVELOPMENT

4.5.1 Purpose

The intent of this district is to provide buildings and land for airport operation activities and services for air travellers including rental car services and hotels. This district is intended to facilitate a high standard of architectural design and landscaping while allowing the regular operations of the airport terminal, interfacing between the leisure and airside uses within the area. This district includes the airport terminal building, associated lands and ancillary buildings.

4.5.2 Permitted Uses

- Accessory Building or Use
- Airport Maintenance and Operations
- Automobile Renting and Leasing
- Food & Beverage
- Government Agencies
- Meteorological Installations
- Navigational Installations
- Office
- Retail Trade, Shop
- Security Agencies
- Service Trade, Accommodation
- Service Trade, Personal
- Transportation, Parking Lot
- Transportation, Parking Stand
- Transportation, Parking Structure

4.5.3 Development Guidelines

In addition to Section 3.0 – General Regulations, the following Guidelines apply.

4.5.3.1 Setbacks

Front: Minimum 7.5 m

Rear: Minimum 1.5 m from lease line except where the rear of the building is adjacent to apron, in which case there is no yard requirement

Side: Minimum 1.5 m

Exception: Minimum 6.0 m where a side yard is used to provide vehicle access

4.5.3.2 Building Height

Principal Building: Maximum: 15 m

Exception: Building heights in excess of 15m may be allowed as determined by the RAA.

4.5.3.3 Site Coverage

Maximum allowable lot coverage is **80%** .

4.5.3.4 Landscaped Areas

Landscaping is required where possible. Specific landscaping in the terminal area will vary depending on technical restrictions and practical opportunities. Basic landscaping requirements as outlined in Section 3.0 General Development Guidelines still apply.

4.6 AIRSIDE

4.6.1 Purpose

This district is intended for aviation related uses including industrial and business uses that require access to aprons and taxiways. Typical uses would include aviation support services, aircraft hangars, aircraft maintenance, aviation related storage, warehousing and distribution facilities.

4.6.2 Permitted Uses

- Accessory Building or Use
- Air Fueling and Provisioning Services
- Aircraft Hangars
- Airport and Aviation Support Services
- Emergency Response Services
- Fixed Based Operator (FBO)
- Government Agencies
- Meteorological Installations
- Navigational Installations
- Office
- Repair Service
- Service Trade (excluding *Service Trade, Accommodation; Service Trade, Clinic, Service Trade, Personal*)
- Storage, Hazardous Material
- Storage, Outdoor
- Storage, Warehousing
- Utility

4.6.3 Development Guidelines

In addition to Section 3.0 – General Regulations, the following Guidelines apply.

4.6.3.1 Setbacks

Front: Minimum 7.5 m

Rear: Minimum 6.0 m (from the lease line except where the rear of the building is adjacent to an apron, in which case there is no rear yard requirement)

Side: Minimum 3.0 m

4.6.3.2 Building Height

All Buildings: Maximum: 20.0 m

4.6.3.3 Site Coverage

Maximum allowable lot coverage is 50%.

4.6.3.4 Landscaped Areas

Landscaping is required where possible. Specific landscaping will vary depending on technical restrictions and practical opportunities. Basic landscaping requirements as outlined in Section 3.0 General Development Guidelines still apply.

4.7 AIRSIDE SUPPORT

4.7.1 Purposes

The intent of this district is to provide aviation support services, industrial and business uses that do not require direct access to taxiways. Lands within this district will be developed in a manner that is compatible with airport operations. Uses typically include maintenance, storage, and warehousing and distribution facilities.

4.7.2 Permitted Uses

- Accessory Building or Use
- Air Fueling and Provisioning Services
- Airport and Aviation Support Services
- Emergency Response Services
- Fixed Based Operator (FBO)
- Government Agencies
- Meteorological Installations
- Navigational Installations
- Office
- Repair Service
- Service Trade (excluding *Service Trade, Accommodation; Service Trade, Clinic, Service Trade, Personal*)
- Storage, Hazardous Material
- Storage, Outdoor
- Storage, Warehousing
- Utilities

4.7.3 Development Guidelines

In addition to Section 3.0 – General Regulations, the following Guidelines apply.

4.7.3.1 Setbacks

Front: Minimum 7.0 m

Rear: Minimum 6.0 m (from the lease line except where the rear of the building is adjacent to an apron, in which case there is no rear yard requirement)

Side: Minimum 1.5 m

4.7.3.2 Building Height

Principal Use: Maximum 20 m

Accessory Use: Maximum 10 m

4.7.3.1 Site Coverage

Site coverage is subject to the regulations stipulated by the Regina Airport Authority (RAA).

4.7.3.2 Landscaped Areas

Although specific landscaping may vary depending on the use, the basic landscaping requirements stated in the Section 3.0 General Development Guidelines still apply.

4.8 AIRSIDE SYSTEMS/AIRPORT RESERVE

4.8.1 Purposes

The purpose of this district is to ensure that airport systems areas are developed in a manner that is compatible and supports airport operations. The district provides for both present and future operation and movement of aircraft and related safety, navigational aids, air traffic control and other operations facilities directly related to aircraft operations and movements.

4.8.2 Permitted Uses

- Agriculture, Light
- Airport Maintenance and Operations
- Airport and Aviation Support Services
- Emergency Response Services
- Government Agencies
- Meteorological Installations
- Navigational Installations Utilities

4.8.3 Development Guidelines

In addition to Section 3.0 General Development Guidelines, the following guidelines apply.

4.8.3.1 Setbacks

Setbacks are subject to the regulations stipulated by the Regina Airport Authority (RAA).

4.8.3.2 Building Height

Building heights are subject to the regulations stipulated by the Regina Airport Authority (RAA).

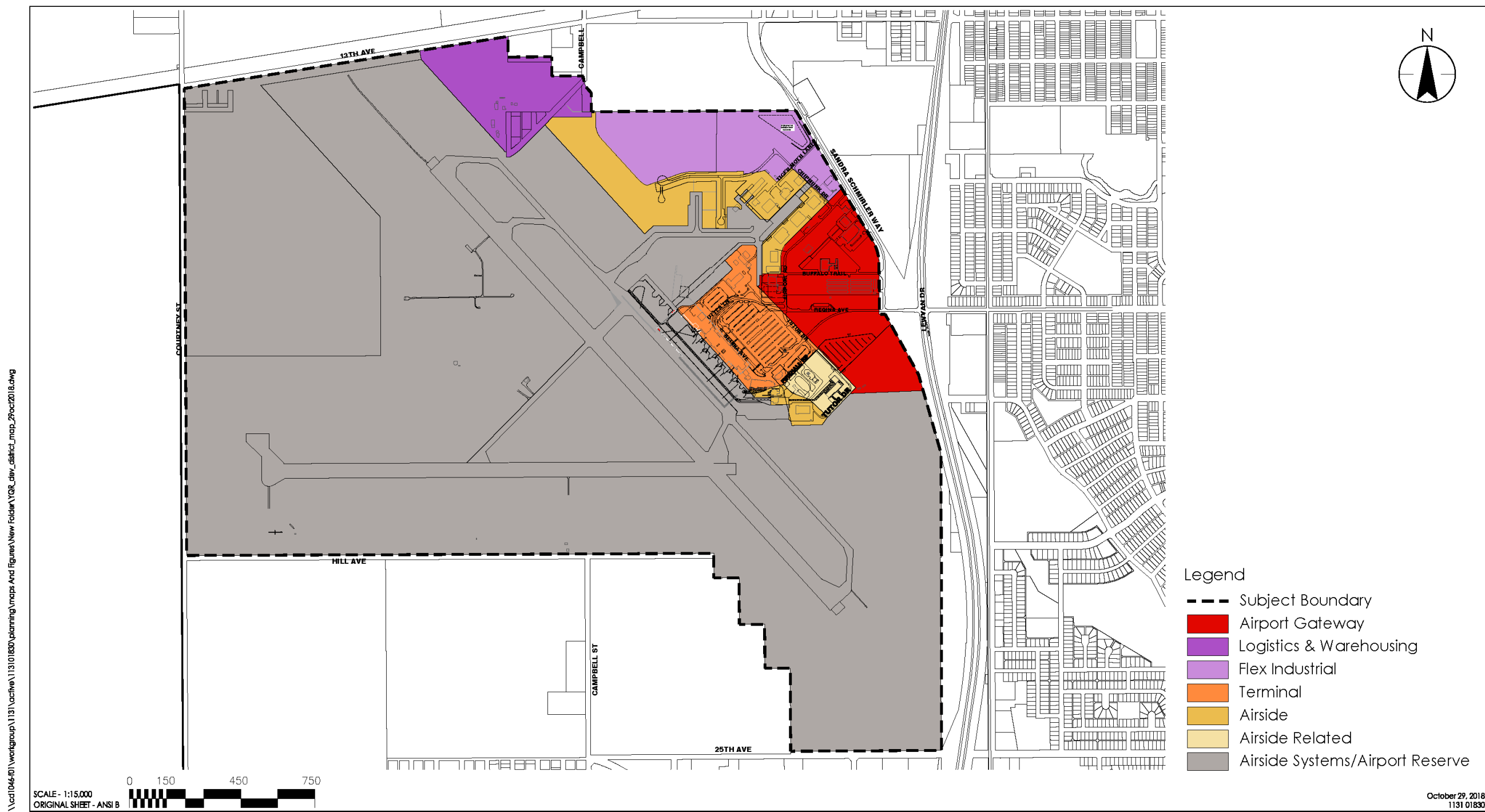
4.8.3.3 Site Coverage

Site coverage is subject to the regulations stipulated by the Regina Airport Authority (RAA).

4.8.3.4 Landscaped Areas

Landscaping is encouraged where possible throughout any land area. Specific landscaping in the airside systems/airport reserve will vary depending on technical restrictions and practical opportunities.

Figure 3 - YQR Development Districts



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Client/Project
 REGINA AIRPORT AUTHORITY
 REGINA INTERNATIONAL AIRPORT (YQR)
 DEVELOPMENT REGULATIONS

Figure No.
3

Title
 DEVELOPMENT DISTRICT MAP



5.0 DEFINITIONS

Accessory Building or Use: A use, separate building, or structure, normally incidental, ancillary and subordinate to the permitted use, exclusively devoted to and located on the same lot as the principal use, building or structure.

Aircraft Hangar: A building primarily intended for the storage or servicing of one or more aircraft, and which may also include complementary accessory uses to the permitted aircraft storage.

Airport and Aviation Support: A use, separate building, or structure, intended for the provision of general support services for aircraft, aviation and the airport. This includes, but is not limited to, maintenance, storage and warehousing, and distribution facilities. **Agriculture:** Means a land use class including land uses of varying intensity, which includes farming and the housing or servicing of agricultural animals. The land use class includes the following land uses:

Agriculture, Animal Support: A land use where living agricultural animals are temporarily supported, serviced or treated.

Agriculture, Heavy: A land use where at least one live agricultural animal is kept, worked and/or bred.

Agriculture, Light: A land use where non-intensive farming take place,

Air-fueling and Provisioning Services: Facilities, improvements, and mechanisms used for regular inspection, repair, maintenance, loading, unloading, fueling, tie-down, and oversight of aircraft.

Airport Maintenance and Operations: Sites and facilities used for the maintenance and operations of airport facilities. This includes offices related to these functions as an accessory use.

Animated Copy: A sign or portion of a sign that includes action, motion or rotation, flashing, or colour changes, but does not include displays of time and temperature.

Automated Changeable Copy: A changeable copy sign capable of displaying words, symbols, figures or images that can be electronically or mechanically changed by remote or automatic means.

Automobile Renting & Leasing: A facility where automobiles are rented and may include the associated storage of vehicles to be sold on the site, accessory automobile servicing and sale of automobile parts. This may also include office space as an accessory use.

Awning Sign: A sign painted on, attached to, or constructed in or on the surface of an awning supported entirely from the exterior wall of a building and composed of non-rigid materials except for the supporting framework.

Banner Sign: A sign composed of fabric or similar material which may be secured or mounted to allow movement of the sign caused by air movement and includes pennants, ribbons, streamers, pinwheels or other similar moving or fluttering device.

Balloon Sign: An inflated sign that is attached to the ground or a structure and that incorporates any type of sign or is intended to attract the attention of the public. Balloon signs are portable signs.

Building Permit: Allows construction of buildings or structure to proceed on condition of compliance with the Saskatchewan Building Code which addresses building and fire safety. A Building Permit is required for the construction, alteration, repair, relocation, demolition, or change of use of a building.

Buildings, Planned Group: A lot containing more than one principal building.

Canopy Sign: A sign which is painted, attached or constructed on the surface of an unenclosed permanent roofed structure.

Changeable Copy: A sign or portion of a sign in or on which the information that is displayed can be changed through the use of attachable letters, numerals and pictorial panels or electronic switching of lamps or illuminated tubes.

Copy: Letters, characters, numbers, symbols, logo or graphics on a sign.

Corner Lot: A lot which abuts two or more roads where the interior angle of the intersection is less than 135 degrees.

Development: Means the same as defined in The Planning and Development Act, 2007, and all amendments hereto.

Development Permit: A document authorizing a development in accordance with the Development Regulations of the Regina Airport Authority (RAA).

Digital Sign: means a Freestanding or Fascia Sign that contains Digital Copy, which is a Permanent Sign, displaying advertising, and does not include moving effects, message transition, video images, or animation.

Directional Sign: A sign indicating the direction only, of a business, parking area, product, service or event for the purpose of directing pedestrian or vehicular traffic.

Directory Sign: A sign that lists only name and unit number of businesses or tenants located in a shared building or on a common parcel of land.

Drive-Through: Means a land use class including land uses where a good or service is provided to a customer who remains in a motor vehicle. The land use class includes the land use “Drive-Through, Accessory.”

Drive-Through, Accessory: Any ancillary or accessory use where a good and/or a service trade is dispensed or provided to a person who remains in a motor vehicle.

Emergency Response Services: The facilities and buildings required for protection of persons and property from injury, harm or damage together with incidental storage of emergency equipment and vehicles. Typical uses would include fire stations, police stations, paramedic and ambulance services, security services, fire training and other related services

Fascia Sign: A sign which is painted on or attached to and supported by an exterior wall or fascia of a building provided the face of the sign is parallel to the wall and does not project more than 0.31 m (1 ft.) beyond the wall surface.

Finished Grade: Means for the purpose of determining maximum height of a building or structure, the average elevation of natural grade calculated from the four corners of the smallest rectangle that will encompass the building or structure.

Fixed Base Operator (FBO): a facility that provides a wide range of services to general aviation aircraft and pilots. This includes the provision of fueling, pilots and passenger lounges, maintenance and overhaul facilities, aircraft parking and hanger storage.

Food & Beverage means a land use class of several types, all of which involve the provision of food and beverages to members of the general public. This land use class includes the following land uses:

Food & Beverage, Lounge means a land use:

- (a) That has received a tavern endorsement or tavern permit under The Alcohol Control Regulations, 2016; and/or
- (b) Where beverages are consumed on-site and commercial entertainment, including dancing or live music is provided on-site.

Food & Beverage, Catering means a land use where food and/or beverages are prepared for consumption on-site but delivered to and consumed off-site.

Food & Beverage, Restaurant means a land use where food and/or beverages are prepared for consumption, sold and served to the general public on-site.

Food & Beverage, Outdoor means an accessory land use, located outside or in a partially enclosed area, where food and/or beverages are served or consumed. This

includes, but is not limited to, the outdoor portion(s) of any other land use listed in the Food & Beverage land use class.

Freestanding Sign: Means any sign wholly supported from the ground by a structural member or members, independently of and visibly separated from any building or other structure and permanently fixed to the ground. , that displays on-premises advertising and contains no digital copy.

Front Lot Line: Means the line dividing the lot from the street; for a corner lot, the front lot line shall be the lot line on the same street as the front lot lines of lots on the same block face; for a through lot, the front lot line shall be that street line which interfaces most directly with adjacent land uses.

Frontage: The distance between the two points where the side lot lines of a lot intersect the boundary of a public street. This term shall not be considered as the ordinary side of corner lot.

Government Agencies: means any municipal, provincial or federal government services. This does not include protective and emergency services but does include customs and excise, taxation offices, quarantine facilities, post office, immigration facilities, meteorological offices and navigational offices

Gross Floor Area: The total floor area in a building or structure that is indoors or partially indoors, measured between the exterior faces of the exterior walls of the building or structure at the level of each storey:

- (a) at and above grade, in the case of dwellings in residential zones; and
- (b) below, at and above grade, in the case of all other uses; excluding the area used for off-street unloading, parking, mechanical equipment, stairways or shafts.

Hard Surfaced Paving Materials: Materials used for paving that can withstand frequent use, including asphalt, concrete, crushed stone, soil cement, resin-based stabilized material, boardwalk, and recycled materials.

Hazardous Materials: Any product, substance or organism which, because of its quantity, concentration or risk of spill, or its physical, chemical or infectious characteristics, either individually or in combination with other substances is an existing or potential threat to the physical environment, to human health or to other living organisms.

Height: The height of any building, including any building equipment, or projection, shall not exceed an elevation that would penetrate airspace as defined by Transport Canada. Aviation Zoning Regulations have precedence over any other height provisions outlined in these development regulations, where Aviation Zoning Regulations impose a lower height limit.

Industrial Activity: Any productive activity that adds value to or finishes a good, a product, merchandise or an article. This includes incidental storage and distribution of the inputs and outputs of such activities. Excludes direct sales, retail trade activities, service trade activities and on-site consumption. Such activities may include:

- (a) testing;
- (b) design;
- (c) researching / developing;
- (d) cleaning;
- (e) manufacturing;
- (f) processing;
- (g) fabrication;
- (h) assembly;
- (i) treatment; and
- (j) packaging.

Institution: Means a land use class including various land uses where formal organizations provide for members to gather for formal or charitable educational, medical, social or similar purposes. This land use class includes the following land uses:

Institution, Education: Means a land use where an accredited person and/or organization provide students with regular, formal, on-site education, instruction, testing or training.

Institution, Training: Means a land use where qualified instructors provide students or apprentices with regular, hands-on or vocational education, instruction, testing or training.

Institution, Health Care: Means a land use where:

- (a) patients may receive or be admitted for on-site health care and/or medical treatment by accredited professional and both in-patient and out-patient activities are permitted;
- (b) bodies are temporarily kept or tended to for autopsy, identification, scientific or educational inquiry, coroner activities or for preparation for a funeral, cremation or burial; or

(c) bodies are cremated according to federal and provincial laws and regulations.

Institution, Humanitarian Service: Means a land use where a non-profit organization provides direct, on-site social or welfare services to those in need. On-site office activities must be associated with direct service provision. Typical activities include:

- (a) Information resources;
- (b) Administrative and advocacy services;
- (b) Referral services;
- (c) Skills development;
- (d) The provision of aid and basic needs (excluding Shelter);
- (e) Life skills training and personal development programs;
- (f) Alcohol, drug or substance abuse rehabilitation;
- (g) Drop-in/activity rooms; and/or
- (i) Activities that are, in the opinion of the Development Officer, reasonably similar to the land uses listed above.

Excludes Dwelling and Accommodation land uses.

Institution, Day Care: Means a land use where care, protection and supervision are provided to individuals of any age who require care on a regular, periodic, or temporary basis. This excludes Dwelling, Group Care and includes but is not limited to:

- (a) child care centres as defined by The Child Care Act, 2014; and
- (b) a facility which offers educational and social activities for individuals who are not compulsory school age according to The Education Act, 1995.

Industry: Means a land use class of various types, all of which involve some kind of industrial activity. This land use class includes the following land uses:

Industry, Agriculture: Means a land use where:

- (a) fruit, flowers, vegetables and shrubs are grown, cleaned, processed or packaged (excludes animal products, trees, cereals, grains, pulses and legumes. Excludes sawmills and grain mills); and/or
- (b) fruit, flowers, vegetables, shrubs, trees, cereals, grains, pulses and legumes and their products are tested; and

excluding Retail Trade activities.

Industry, Artistic: Means a land use where an artist, artisan, or similar professional designs, prepares, creates, or repairs artistic, craft or artisanal works, usually by hand or with handheld or household tools. Excludes any work involving unprocessed fur; tanning and dyeing, and; butchering, slaughtering or dressing.

Industry, Food & Beverage: Means a land use where industrial activities result in food- and/or beverage-related goods or products, usually to be sold to/by land uses in the Food & Beverage land use class and/or “Retail Trade, Shop” land use.

Industry, Hazardous Substances: Means a land use where industrial activities and storage activities take place, involving:

- (a) substances which may cause nuisance such as light, glare, odour or noise;
- (b) welding;
- (c) waste(s) and waste substance;
- (d) dangerous good as defined by this Bylaw; or
- (e) hazardous material as defined by this Bylaw.

Industry, Heavy: Means a land use where industrial activities take place, involving:

- (a) welding;
- (b) substances which may cause nuisance such as light, glare, odour or noise; or
- (c) waste(s) and waste substance, but excluding the production or storage of:
 - i) dangerous goods as defined in this Bylaw;
 - ii) hazardous materials as defined in this Bylaw; and
 - iii) nuclear or radioactive substances.

Industry, Laboratory: Means a land use where non-clinical and non-training activities are conducted to contribute to human knowledge by way of information obtained by formal scientific or technological research, development, testing and design, including processes to create, test, patent or improve material, products or services. Excludes any land use where patients are regularly examined or diagnosed, students are regularly or formally educated, or members of the general public are regularly received as clients.

Industry, Light means a land use where industrial activities take place, but excluding the production, processing or storage of:

- (a) substance which may cause nuisance such as light, glare, odour or noise;
- (b) waste and waste substance;
- (c) welding;
- (d) refining, processing or upgrading of oil and natural gas;
- (e) mining, quarrying, or extraction of oil or natural gas;
- (d) dangerous good as defined by this Bylaw;
- (e) hazardous material as defined by this Bylaw; and
- (f) nuclear or radioactive substance.

Industry, Resource: Means a land use where material is mined, quarried, and/or otherwise extracted from the earth, excluding agricultural uses.

Industry, Salvaging – Light: Means a land use located entirely indoors where light salvaging operations take place.

Industry, Salvaging – Heavy: Means a land use where heavy salvaging operations take place.

Industry, Work Yard: A land use where any activities listed as any of the following land uses or land use classes occur outdoors or in a partially-enclosed area:

- (a) Service Trade, Motor Vehicle – Light;
- (b) Service Trade, Motor Vehicle – Heavy;
- (c) Service Trade, Wash – Heavy;
- (d) Wholesale Trade land use class;
- (f) Agriculture land use class;
- (g) Industry land use class;
- (h) Storage land use class;
- (i) Transportation land use class, excluding “Transportation, Parking Lot” and “Transportation, Parking Structure”; and
- (j) Utility land use class.

Lot coverage: The portion of the lot that is covered by any part of any building or structure on or above the surface of the lot.

Lot Width: The mean distance between side lot lines, excluding access strips of panhandle lots.

Lot: Means the same as parcel.

Meteorological Installations: Any facility, use, installation, or building used to provide meteorological services to aircraft or for airport related activities.

Natural grade: The elevation of the ground surface of a site prior to the commencement of any development excavation, filling or relocation of on-site materials.

Navigational Installations: Any facility, use, installation, or building used to provide navigational services to aircraft or for airport related activities.

Office: Means a land use class of various types, of which the principal use of each type is business, administrative or managerial space for various work activities. This land use class includes the following land uses:

Office, Government includes any land use listed in the Office land use class that is owned or operated by the City, the Province, or the Government of Canada or an authorized agent of one of these governments.

Office, Industry means a land use where non-retail business affairs are conducted in association with or accessory to any of the following land uses and land use classes:

- (a) Agriculture;
- (b) Food & Beverage, Catering;
- (c) Service Trade, Heavy;
- (d) Service Trade, Motor Vehicle – Heavy;
- (e) Service Trade, Wash – Heavy;
- (f) Wholesale Trade;
- (g) Storage;
- (h) Industry;
- (i) Transportation, excluding “Transportation, Parking Lot” and “Transportation, Parking Structure”; and
- (j) Utility.

The activities of an associated land use do not need to necessarily occur on the same lot as the “Office, Industry” land use.

Office, Professional: A land use where non-retail business affairs are conducted, including administrative, managerial or representative workspaces for off-site business. Clients may occasionally be received on-site, but work can regularly be conducted without clients present. Excludes any activity defined as an “Office, Industry” land use.

Parcel: Any lot, block or other area in which land is held or into which it is subdivided or leased but does not include a highway.

Parallel Space: A location that is designated for parking, in which the vehicle is parked close to and parallel to the curb, typically between two other similarly parked vehicles.

Principal Building: The building for the principal use of the lot as defined under the permitted uses of the sublease.

Principal Use: The main or primary use and chief purpose of land or structure, as distinguished from an accessory use.

Public Use: means a land use class where the principal feature of the land use is its accessibility to members of the general public. This land use class includes the following land uses:

Public Use, General: Includes any land use, other than “Public Use, Institutional” and “Office, Government,” which is owned and operated by the City, the Province, or the Government of Canada or an authorized agent of one of these governments for the distribution of public goods and/or services to benefit Regina’s residents. Includes any accessory structures, accessory buildings and accessory uses necessary for the operation and general maintenance of the use.

Public Use, Institutional: Includes any land use listed as an “Institution” land use class, or any similar use, that is owned and operated by the City, the Province, or the Government of Canada or an authorized agent of one of these governments for the distribution of public goods and/or services to benefit Regina’s residents. Includes any accessory structures, accessory buildings and accessory uses necessary for the operation and general maintenance of the use.

Rear lot line: The lot line or point of intersection of the side lot lines farthest from and opposite the front lot line.

Retail Trade: A land use class of various land use types where the principal activity involves the sale of goods to members of the general public. This land use class includes the following land uses:

Retail Trade, Adult: Means a land use where pornographic material – including but not limited to material that, in the opinion of the Development Officer, emphasizes the depiction or description of specified sexual activities or sexualized anatomical areas – is sold or leased.

Retail Trade, Cannabis: Means a land use, licensed by the Saskatchewan Liquor and Gaming Authority, where only cannabis for recreational purposes and cannabis accessories are sold to persons who attend the premises.

Retail Trade, Outdoor Display: Means an outdoor land use intended for the sale of flowers, plants, pre-prepared food products, fruit, vegetables, arts, crafts or other merchandise that is, in the opinion of the Development Officer, similar to these products, generally sold by item (rather than in groups) and used or consumed off-site. Excludes Retail trade, Outdoor Lot and Retail Trade, Adult.

Retail Trade, Outdoor Lot: Means an outdoor land use intended for the sale or lease of lumber, construction, motor vehicles and motor vehicle accessories. Excludes “Retail Trade, Adult.”

Retail Trade, Shop: Means an indoor land use intended for the sale or lease of food, beverages, goods, products, merchandise, articles or things to members of the general public but used or consumed off-site. Excludes “Retail Trade, Adult.”

Roof sign: A sign placed or erected on or above the roof of a building, in the air space above a roof, or painted or marked on the roof of a building, but specifically excludes mansard roof sign.

Sandwich Board Sign: Means an on-premises a non-illuminated sign that is relocatable and removeable used for advertising of a limited duration consisting of two flat faces/surfaces joined at one end and resting on the ground.

Service Station: An establishment used for the sale of gasoline, propane or other automotive fuels; and may include as an accessory use the sale of lubricating oils or other automotive fluids or accessories for motor vehicles, servicing and minor repair of motor vehicles, and a towing service dispatch point.

Service Trade: A land use class of various types where the principal activity includes the provision of services to members of the general public. This land use class includes the following land uses:

Service Trade, Accommodation: Means a land use which temporarily rents one or more “Units” to the general public. Use include Hotels.

Service Trade, Clinic: Means a land use where an accredited member of a medical, health care, therapeutic, or counselling profession provides services of a preventative, diagnostic, therapeutic, rehabilitative or counselling nature. Excludes land uses in the Institutional land use class and any land use that allows clients to stay in facility overnight.

Service Trade, Heavy: Means a land use where tools, goods, machinery and equipment, including tools large household appliances, commercial scale operations, building and specialized trade, landscaping, and construction are operated, serviced, repaired or maintained, including commercial publishing and printing. Excludes tools, goods, machinery and equipment associated with farming or motor vehicles.

Service Trade, Light: Means a land use where handheld tools and appliances and household items and equipment are operated, serviced, repaired or maintained with service offered to members of the general public. Excludes tools, items, machinery and equipment associated with motor vehicles, commercial scale operations, large household appliances, building and specialized trade, landscaping, construction, and farming.

Service Trade, Motor Vehicle – Heavy: Means a land use where heavy motor vehicles are maintained, repaired or serviced. May include sales of and services related to lubricating oils, fuel, tires or other motor vehicle accessories. Excludes the sales of motor vehicles as well as any land use classified as a Service Trade, Wash - Heavy and Service Trade, Wash - Light.

Service Trade, Motor Vehicle – Light: Means a land use where personal motor vehicles maintenance, repair, or services are offered for sale to members of the general public. May include sales of and services related to lubricating oils, fuels, tires or motor vehicle accessories. Excludes the sales of motor vehicles as well as any land use defined as Service Trade, Wash – Light, Service Trade, Wash – Heavy or Service Trade, Motor Vehicle – Heavy.

Service Trade, Personal: Means a land use where members of the general public may purchase services associated with grooming or non-clinical appearance and body alterations for people or domestic animals. Excludes any services or activities involving agricultural animals.

Service Trade, Wash – Heavy: Means a land use which offers washing facilities, whether automated or manual, for heavy motor vehicles.

Service Trade, Wash – Light: Means a land use where members of the general public may access personal motor vehicle washing facilities, whether automated or manual. Excludes any land use classified as a “Service Trade, Wash – Heavy.”

Setback: The horizontal distance measured from the lot line or natural boundary to any building or structure.

Side Lot Line: A lot line other than a front or rear lot line.

Side Yard: That part of a lot which extends from a front yard to the rear yard between the side lot line of a lot and the nearest wall or supporting member of a building or structure, except where the supporting member is supporting an uncovered patio or uncovered sundeck.

Sign: Any structure, device, advertisement, advertising device or visual representation that is visible from any street, highway, lane or from any property other than the one on which it is located, and that is intended to advertise, identify, or communicate information or attract the attention of the public for any purpose and without limiting the generality of the foregoing includes any symbols, letters, figures, illustrations or painted forms, but specifically excludes seasonal decorations, murals, window coverings or interior window displays of merchandise. Sign area: means the total surface area of a sign within the outer edge of the sign frame or sign border but where a sign has no frame or boarder, means the area contained within the smallest square or rectangle that will enclose all of the copy of the sign. In the case of a double-face or multi-face sign only half of the total area of all sign faces will be counted.

Street: The whole and entire width of every highway, public road, or road allowance and shown as such on a Plan of Survey registered in the Land Titles Office for the Regina Land Registration District.

Storage: Means a land use class including various land uses where the principal activity is the storage of goods. This land use class includes the following land uses:

Storage, Hazardous Material: Means a land use primarily engaged in the storage of hazardous material(s) and/or dangerous goods. Excludes retail trade activities. Excludes any production, processing or use other than storage.

Includes the storage of any:

- (a) Substance which may cause impacts or nuisance such as dust, odour, glare or noise;
- (b) Waste and waste substance;
- (c) Dangerous good as defined by this Bylaw;
- (d) Hazardous material as defined by this Bylaw; and

Excludes the storage of any nuclear or radioactive substances.

Storage, Personal: Means a land use where separate, secured indoor storage units are designed to be rented or leased for private storage of personal goods, substances and

equipment, household goods, furniture, general merchandise and vehicles. Excludes retail trade activities.

Excludes the storage of any:

- (a) Substance which may cause impacts or nuisance such as dust, odour, glare or noise;
- (b) Waste and waste substance;
- (c) Dangerous good as defined by this Bylaw;
- (d) Hazardous material as defined by this Bylaw; and
- (e) Nuclear or radioactive substance.

Storage, Warehousing: Means a land use primarily engaged in indoor storage, including (but not limited to) goods or products stored on behalf of commercial or industrial clients or institutional uses. Warehousing may include the indoor storage (short or long-term) of motor vehicles that are unregistered, uninsured and/or inoperable. Excludes retail trade activities.

Excludes the storage of any:

- (a) Substance which may cause impacts or nuisance such as dust, odour, glare or noise;
- (b) Waste and waste substance;
- (c) Dangerous goods as defined by this Bylaw;
- (d) Hazardous material as defined by this Bylaw; and
- (e) Nuclear or radioactive substances.
- (f) Air cargo (goods transported by aircraft).

Storage, Outdoor: Means a land use primarily engaged in the outdoor storage, including (but not limited to) goods or products stored in association with or on behalf of institutional, commercial or industrial land uses or clients. Outdoor storage may include the storage (short or long-term) of motor vehicles that are unregistered, uninsured and/or inoperable. Excludes retail trade activities.

Excludes the storage of any:

- (a) Substance which may cause impacts or nuisance such as dust, odour, glare or noise;
- (b) Waste and waste substance;
- (c) Dangerous good as defined by this Bylaw;

(d) Hazardous material as defined by this Bylaw; and

(e) Nuclear or radioactive substance.

Third-party sign: A sign advertising or identifying anything other than a business, product or service being conducted or offered on a parcel where the sign is located.

Transportation: A land use class of various land use types, the principal feature of which is the short-term storage of motor vehicles. This land use class includes the following land uses:

Transportation, Parking Lot or Surface Parking or Parking Lot: An outdoor land use where motor vehicles that are registered, insured and in working order are parked outdoors or in primarily unenclosed areas for temporary intervals.

Transportation, Parking Structure or Parking Structure or Parking Garage: An indoor land use where motor vehicles that are registered, insured and in working order are parked indoors or in primarily enclosed areas for temporary intervals.

Transportation, Parking Stand: A land use where motor vehicles primarily used to regularly transport members of the general public actively await dispatch, usually with a driver present on the same lot as the vehicle. Excludes any land use defined as “Service Trade, Motor Vehicle – Light” or “Service Trade, Motor Vehicle - Heavy.”

This land use may be oriented, in whole or in part, for taxis, emergency vehicles and/or limousines.

Unit: means a building or a portion of a building that is self-contained and occupied by a distinct principal land use, usually with a separate entrance to a shared space (e.g. a public street, a public plaza, a public sidewalk, a shared hallway, a shared walkway or a shared parking lot etc.). In the case of a hotel a unit refers to each room provided for sleeping accommodation.

Utilities: A system or works used to provide one or more of the following for consumption, benefit, convenience or use:

- (a) Water or steam;
- (b) Sewage disposal;
- (c) Public transportation or other transportation services;
- (d) Irrigation;
- (e) Drainage;
- (f) Fuel;
- (g) Electric power;

- (h) Heat;
- (i) Waste management;
- (j) Street lighting;
- (k) Technological connections and servicing; and,
- (l) Any other service that provides necessary or supplemental services to the YQR region.

Wholesale Trade: A land use class including various land use types where the principal activity is the sale or exchange of goods, though typically not to members of the general public. This land use class includes the following land uses:

Wholesale Trade, Indoor: An indoor land use where food, beverages, goods, products, merchandise, articles or things are sold or distributed to and temporarily stored for commercial retailers, industrial uses, agricultural uses, institutional uses, professional users or other wholesalers but generally not to members of the general public.

Wholesale Trade, Outdoor: An outdoor land use where goods, products, merchandise, articles or things are sold or distributed to and temporarily stored for commercial retailers, industrial uses, agricultural uses, institutional uses, professional users or other wholesalers but generally not to members of the general public.

Yard: The open, uncovered space located on the same lot as a building, and unoccupied by buildings or structures except as specifically permitted elsewhere in this Bylaw. In determining yard measurements, the minimum horizontal distance from the respective lot lines shall be used.

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